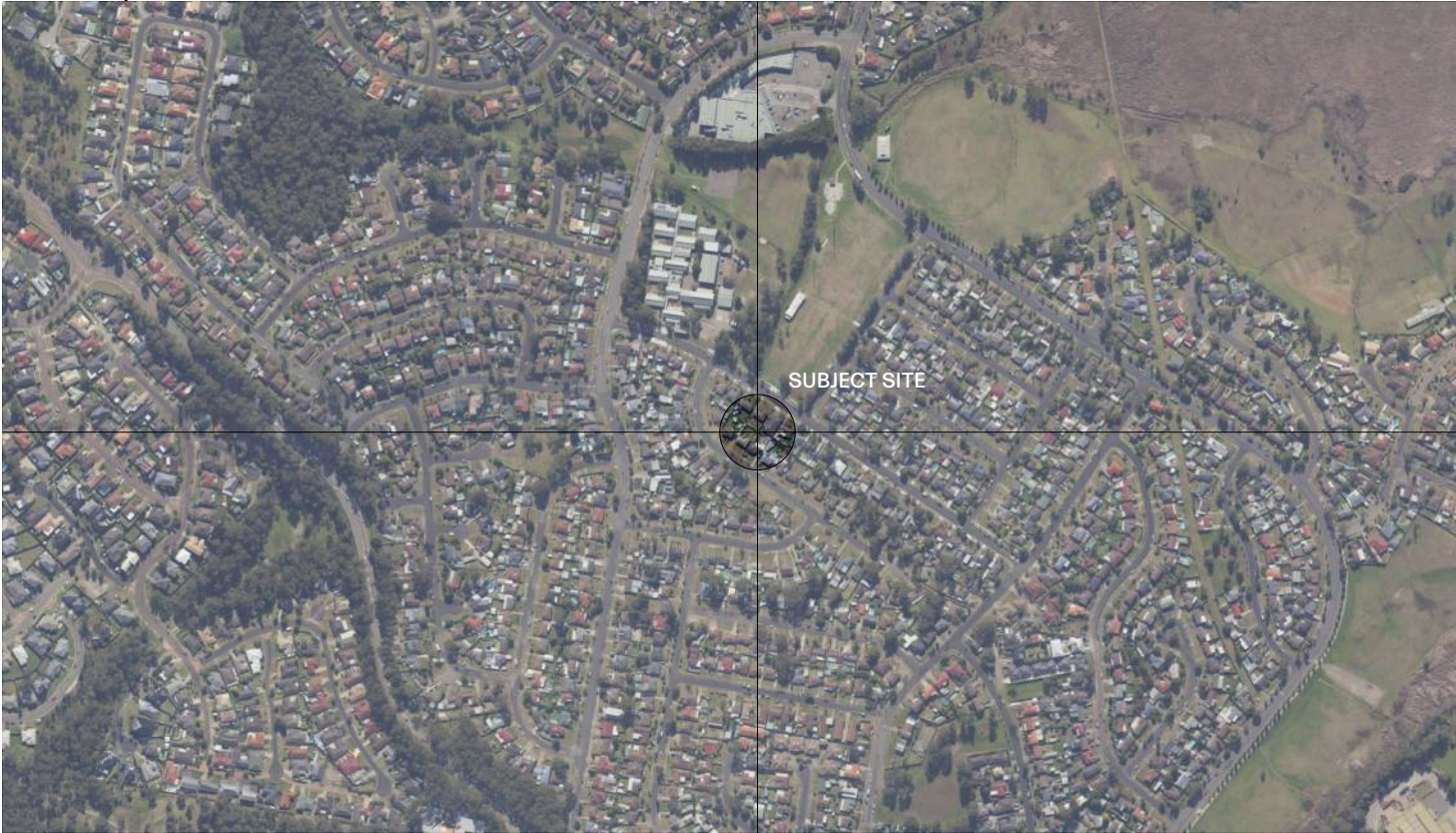


LAHC Maryland Development - BGWY7

38, 40 John T Bell Dr & 31, 33 Matten Cl Maryland NSW 2287
Lot 111, 112, 116, 117/-/DP253956

Location Map



Photomontage Image



DEVELOPMENT DATA						
Job Reference	BGTX2 - 38-40 John T Bell Drive & 31-33 Matten Close, Maryland (Residential Flat Building)					
Locality / Suburb	Maryland (Newcastle City Council)					
Street Address	38-40 John T Bell Drive & 31-33 Matten Close					
Lot & DP	Lots 111, 112, 116, and 117 DP253956					
SITE AREA	2311					
EXISTING LOTS	4					
PROPOSED GFA	1041					
DWELLING #	10 x 2 Bed 6 x 1 Bed 16 Dwellings					
DWELLINGS	Number	Type*	No of Bedrooms		Area*(m ²)	POS*
	1	ground	2	Social General	76	23
	2	ground	1	Social General	50	17
	3	ground	1	Social General	50	17
	4	ground	2	Social General	71	23
	5	ground	2	Social General	76	21
	6	ground	2	Social General	71	25
	7	ground	2	Social General	71	25
	8	ground	1	Social General	53	17
	9	1st	2	Social General	76	10
	10	1st	1	Social General	50	9
	11	1st	1	Social General	50	9
	12	1st	2	Social General	71	10
	13	1st	2	Social General	76	10
	14	1st	2	Social General	71	10
	15	1st	2	Social General	71	10
	16	1st	1	Social General	58	10
		Control	Requirement		Proposed	
ZONING		Council - Newcastle LEP	R2 Low Density Residential		R2	
HEIGHT		Council - Newcastle LEP	8.5m		8.36m Ridge Line	
		Housing SEPP	9.0m			
FSR		Council - LEP + Housing SEPP	0.75:1 + 0.5 FSR Bonus pursuant to Division 1 of Housing SEPP		0.45	
SETBACK	Council - Newcastle DCP	Front Street Setback	Prevailing setback within 40m either side of the site. John T Bell Drive - 7.4m Matten Close - 8.325m Maximum encroachment of balcony is 1.5m Newcastle DCP 3.03.01B		7.0m John T Bell Dr / 5.8m Matten Cl	
		Secondary Street	2m		N/A	
		Side Setback	0.9m up to a height of 4.5m, then at an angle of 4:1 up to the maximum permitted height		3m	
		Rear Setback	3m up to 4.5m and 6m greater than 4.5m		N/A	
PARKING	Housing SEPP (Division 1)	accessible	0.5 x 10 (no. 2 Beds) = 5.0 0.4 x 6 (no. 1 beds) = 2.4		8 Car spaces	
LANDSCAPED	Housing SEPP (Division 1)	General	35sqm per Dwelling (Social Housing Provider) = 560sq		615.89sqm	
DEEP SOIL	Housing SEPP (Division 1)	General	15% (3m dimension) = 350sqm 65% at rear (if practicable)		576.85sqm 411.70m2 at rear (71%)	
SOLAR ACCESS	Housing SEPP (Division 1)	General	70% for 3 hrs in Mid-Winter = 11.2 dwellings		14 Dwellings 87.5%	
POS	SLUDS / LAHC Dwelling Requirement	General	Ground Floor: Min 15m2 (min dimension 3m) 1st Floor: Min 8m2 (1-Bed) & 10m2 (2-bed) (min. dimension 2m)		Refer to table above	
CUT AND FILL	Council - Newcastle DCP	General	Ground floor levels are not more than 1.3m above existing ground level and not more than 1m below existing ground level. Excavation - 1m depth within 1m of a boundary and 1m depth > 1m from a boundary. Fill - Max. 600mm within 1m of a boundary and 1m > 1m from a boundary.		Finished Floor Level to be raised by 500-600mm to meet flood planning level.	
DWELLING SIZE	Housing SEPP (Division 1)	General	1-bed: min. 50m2 2-bed: min. 70m2		Refer to table above	

Drawing List

- A-0001
- A-0002
- A-0003
- A-0004
- A-0101
- A-1001
- A-1002
- A-1003
- A-1101
- A-1102
- A-1103
- A-1104
- A-1105
- A-1106
- A-2001
- A-2002
- A-2003
- A-3001
- A-3002
- A-4001
- A-4002
- A-4003
- A-5001
- A-5003
- A-6001
- A-6002
- Cover Sheet
- Planning Controls
- Block Analysis
- Site Analysis Plan
- Demolition Plan
- Site Plan - Ground
- Site Plan - First Floor
- Site Plan - Roof
- Ground Floor Plan - South
- Ground Floor Plan - North
- First Floor Plan - South
- First Floor Plan - North
- Roof Plan - South
- Roof Plan - North
- Street Elevations
- East / West Elevation
- Int. North / South Elev.
- Section A
- Section B & C
- Cut & Fill Diagram
- Waste Management Plan
- RFB & Landscape - Area
- Shadow Diagrams
- Solar - South
- Solar - North
- Schedule of Finishes
- Matten Close

General Notes

ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE.

ALL BUILDING WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT AND REGULATIONS, THE BUILDING CODE OF AUSTRALIA, AND APPROVED PLANS.

BUILDER SHALL MAKE GOOD ALL DISTURBED AREAS ADJACENT TO THE WORKS ON COUNCIL PROPERTY.

ALL CONCRETE FOOTINGS, FLOOR SLABS, COLUMNS, AND ROOF FRAMING TO STRUCTURAL ENGINEER'S DETAIL.

ALL STORMWATER REQUIREMENTS, EXTERNAL RL'S AND DRIVEWAY LEVELS TO CIVIL ENGINEER'S DETAILS IF REQUIRED.

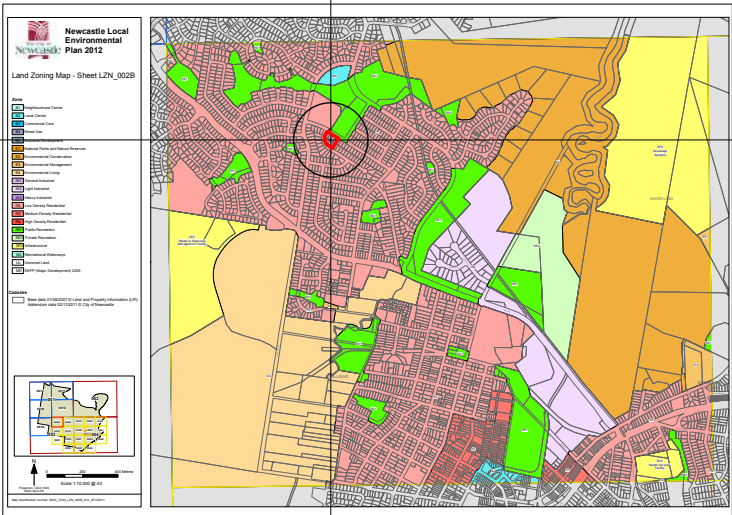
ALL LANDSCAPE AREAS, EXISTING TREES, AND DRIVEWAY TO LANDSCAPE PLANS IF REQUIRED.

Newcastle LEP 2012

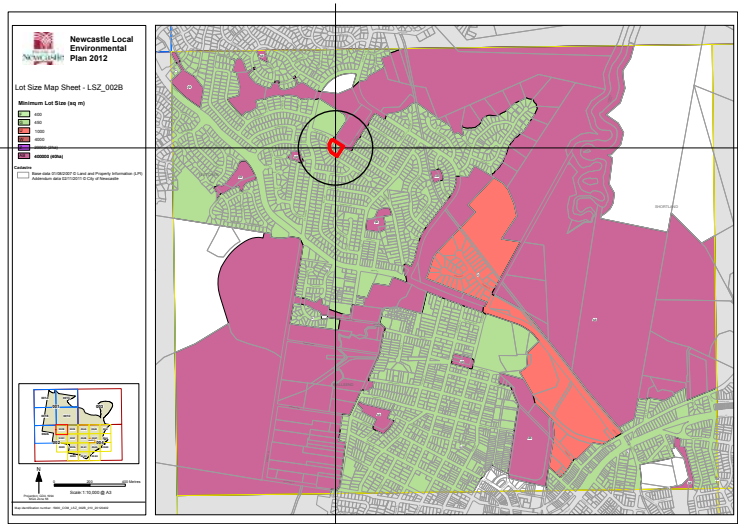
LAND ZONE R2 Low Density Residential
HEIGHT OF BUILDING 8.5m
FLOOR SPACE RATIO 0.75:1
MINIMUM LOT SIZE 450m²
ACID SULFATE SOILS Class 2

LAND APPLICATION N/A
LAND RESERVATION N/A
KEY SITES N/A
HERITAGE N/A

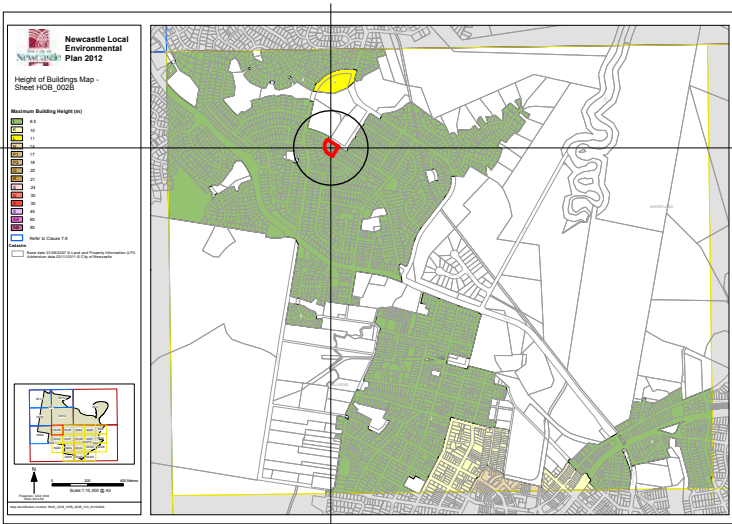
SITE AREA 4174m²
ALLOWABLE GFA 3130m²



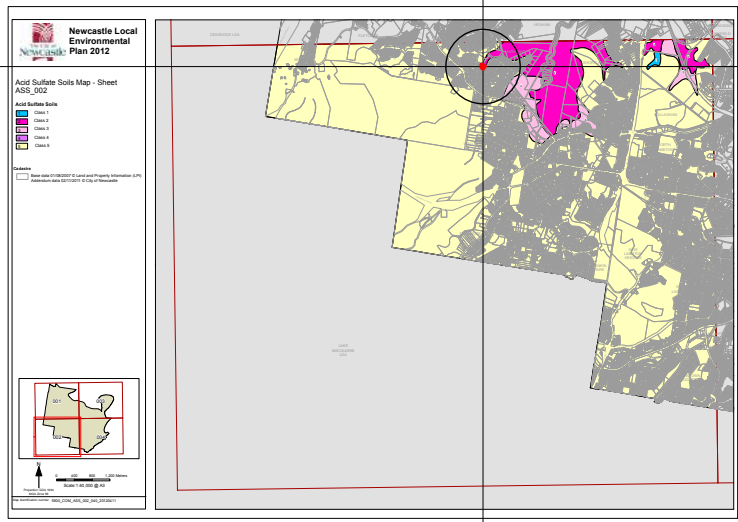
LAND ZONE R2 Low Density Residential



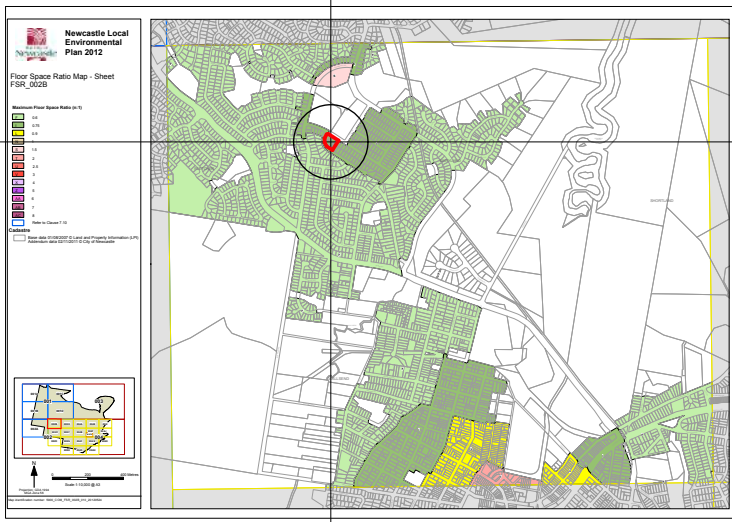
MINIMUM LOT SIZE 450m²



HEIGHT OF BUILDING 8.5m



ACID SULFATE SOILS Class 2



FLOOR SPACE RATIO 0.75:1

NOTE: PRELIMINARY AUTHORITY CONTROL INFORMATION SUBJECT TO PLANNER AND COUNCIL REVIEW AND FURTHER INVESTIGATION

Newcastle DCP 2012

3.30 RESIDENTIAL DEVELOPMENT KEY CRITERIA RESIDENTIAL FLAT BUILDING

FRONT SETBACK AVERAGE OF ALL FRONT SETBACKS WITHIN 40m OF SITE

SIDE SETBACKS 0.9m UP TO 4.5m
THEN ANGLE AT 4:1 TO MAX HEIGHT

LANDSCAPE AREA MIN 30% OF SITE LANDSCAPE AREA
MIN 15% OF SITE DEEP SOIL ZONE

SOLAR & DAYLIGHT ACCESS 2 HRS DIRECT SUNLIGHT BETWEEN 9am & 3pm

DWELLING SIZE & LAYOUT MIN 90m² FOR 2B
MIN 115m² FOR 3B
+5m² FOR ADDITIONAL BATHROOMS

PRIVATE OPEN SPACE MIN 16m² PRIVATE OPEN SPACE
MIN DIMENSION 3m
50% OF P.O.S. COVERED WITH SHADE

STORAGE 2B MIN 8m³
3B MIN 10m³
MIN 50% LOCATED WITHIN DWELLING

UNIVERSAL DESIGN SENIORS HOUSING SEPP, OR;
LIVABLE HOUSING SILVER UNIVERSAL DESIGN FEATURES

7.03 TRAFFIC, PARKING & ACCESS

CAR PARKING MIN 1 SPACE PER DWELLING
MIN 1 VISITOR SPACE PER 5 DWELLINGS

BIKE PARKING 1 SPACE PER DWELLING UNLESS SEPARATE
STORAGE PROVIDED

HOUSING SEPP 2021

SOLAR ACCESS 70% OF DWELLINGS TO RECEIVE
3HRS MID-WINTER BETWEEN 9am & 3pm.

PARKING (FOR SOCIAL HOUSING PROVIDER - ACCESSIBLE SITE) 1B - 0.4 SPACE PER DWELLING
2B - 0.5 SPACE PER DWELLING

LANDSCAPE 35m² PER DWELLING

DEEP SOIL ZONE 15% SITE AREA (3m WIDE)
65% AT REAR OF SITE.

DWELLING SIZE 1B - 50m²
2B - 70m²

issue	description	date	verified
01	For Client Review	24/11/2021	01
02	For Client Review	12/2/22	02
03	For Client Review	29/2/2022	03
04	For Client Review	27/4/2022	04
05	Issue for Information	26/5/2022	05
06	Issue for Review	6/6/2022	06
07	Issue for Review	12/7/2022	07
08	Draft Part 5 Activity Submission	19/7/2022	08
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B





SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

Part 5 Activity Submission

CKDS
Architecture | Planning | Interiors

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issue	description	date	verified
01	Issue for Review	8/6/2022	01
02	Issue for Review	12/7/2022	02
03	Draft Part 5 Activity Submission	19/7/2022	03
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	19/3/2023	C

key plan

North Point

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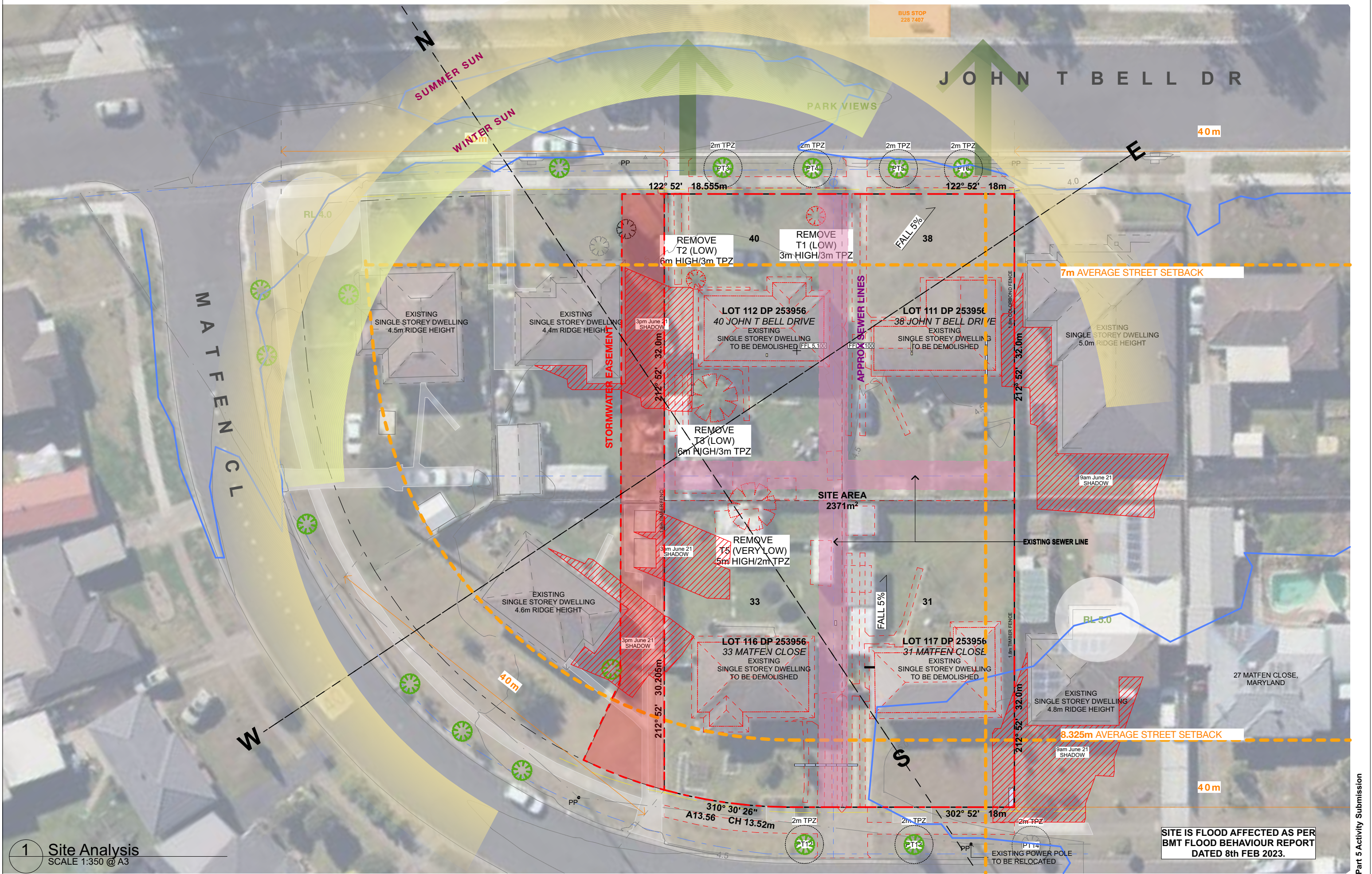
NSW
GOVERNMENT
Planning &
Environment

project
LAHC Maryland
Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matfen Cl
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
Preliminary
Block Analysis

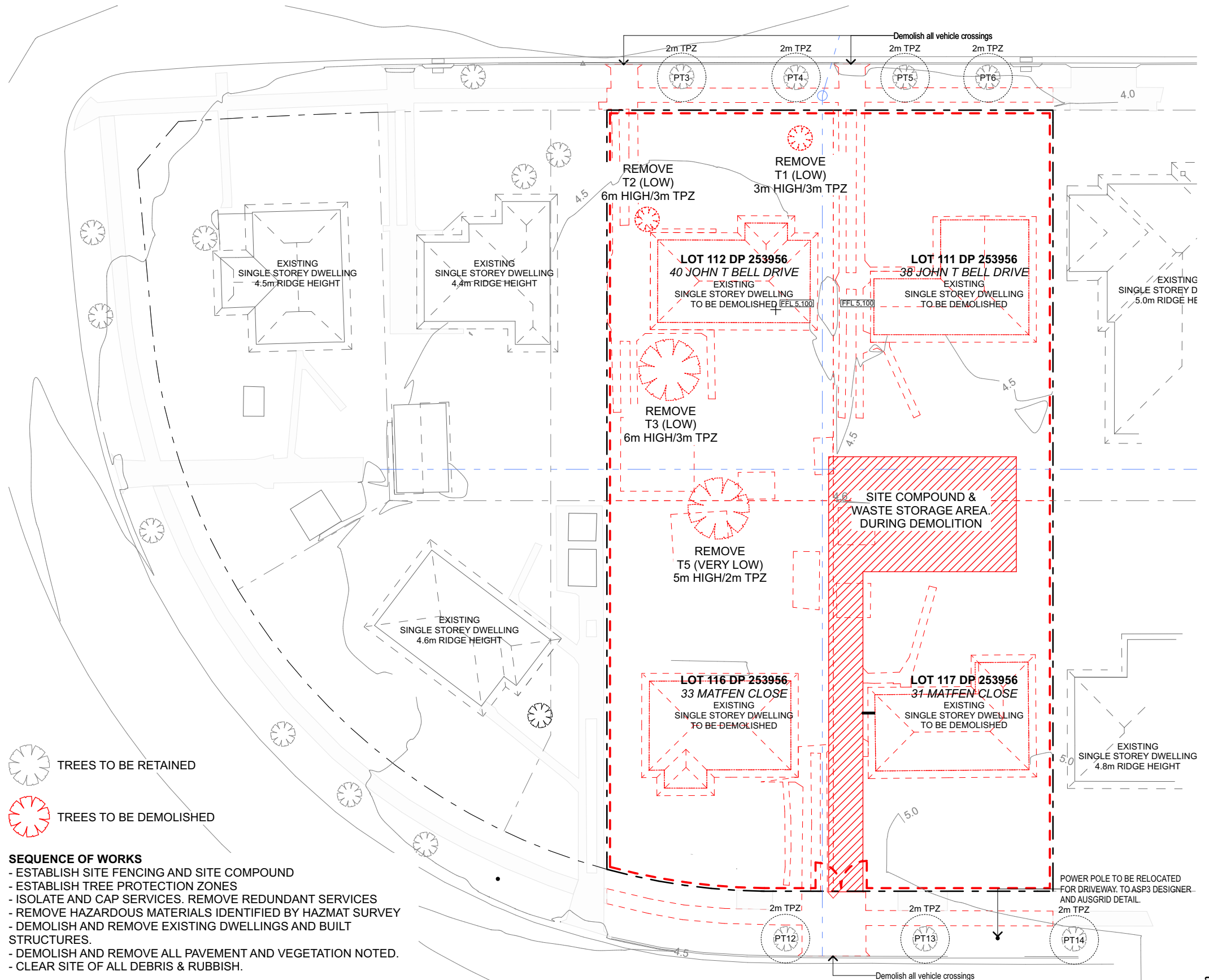
drawing scale	drawn	verified	date
AS SHOWN		SC	10/3/2023
project #	drawing #	issue	
20126	A-0003	C	

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1 Site Analysis
SCALE 1:350 @ A3

issue	description	date	verified
03	For Client Review	26/2/2022	03
04	For Client Review	3/2/2022	04
05	For Client Review	21/4/2022	05
06	Issue for Information	26/5/2022	06
07	Issue for Review	8/6/2022	07
08	Issue for Review	12/7/2022	08
09	Draft Part 5 Activity Submission	19/7/2022	09
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	16/9/2023	C

 TREES TO BE RETAINED TREES TO BE DEMOLISHED

SEQUENCE OF WORKS

- ESTABLISH SITE FENCING AND SITE COMPOUND
- ESTABLISH TREE PROTECTION ZONES
- ISOLATE AND CAP SERVICES. REMOVE REDUNDANT SERVICES
- REMOVE HAZARDOUS MATERIALS IDENTIFIED BY HAZMAT SURVEY
- DEMOLISH AND REMOVE EXISTING DWELLINGS AND BUILT STRUCTURES.
- DEMOLISH AND REMOVE ALL PAVEMENT AND VEGETATION NOTED.
- CLEAR SITE OF ALL DEBRIS & RUBBISH.

EXPECTED TIME OF DEMOLITION AND SITE CLEARING TO BE
CONFIRMED BY CONTRACTOR AFTER SITE INSPECTION AND
PREPARATION OF SITE MANAGEMENT PLAN. ALLOW 15 WORKING DAYS

1 Demolition Plan

SCALE 1:350 @ A3

SCALE 1:350 @ A3

P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
GB	Glazed Aluminium Balsutrade - Obscure
MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

1 Site Plan - Ground
SCALE 1:350 @ A3



SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

issue	description	date	verified
03	For Client Review	28/2/2022	03
04	For Client Review	3/2/2022	04
05	For Client Review	21/4/2022	05
06	Issue for Information	26/5/2022	06
07	Issue for Review	8/6/2022	07
08	Issue for Review	12/7/2022	08
09	Draft Part 5 Activity Submission	19/7/2022	09
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	10/3/2023	C

key plan



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project
LAHC Maryland
Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matfen Cl
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
Site Plan(s)
Site Plan - Ground

drawing scale
AS SHOWN
project #
20126
drawing #
A-1001
verified
SC
date
10/3/2023
issue
C
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P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
GB	Glazed Aluminium Balsutrade - Obscure
MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

1 Site Plan - First
SCALE 1:350 @ A3

SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

Part 5 Activity Submission

issue	description	date	verified
03	For Client Review	26/2/2022	03
04	For Client Review	3/3/2022	04
05	For Client Review	21/4/2022	05
06	Issue for Information	26/5/2022	06
07	Issue for Review	8/6/2022	07
08	Issue for Review	12/7/2022	08
09	Draft Part 5 Activity Submission	19/7/2022	09
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	10/3/2023	C

key plan



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**LAHC Maryland
Development - BGWY7**
38, 40 John T Bell Dr & 31, 33 Matten Ct
Lot 111, 112, 116, 117/-/DP235956
Maryland NSW 2287

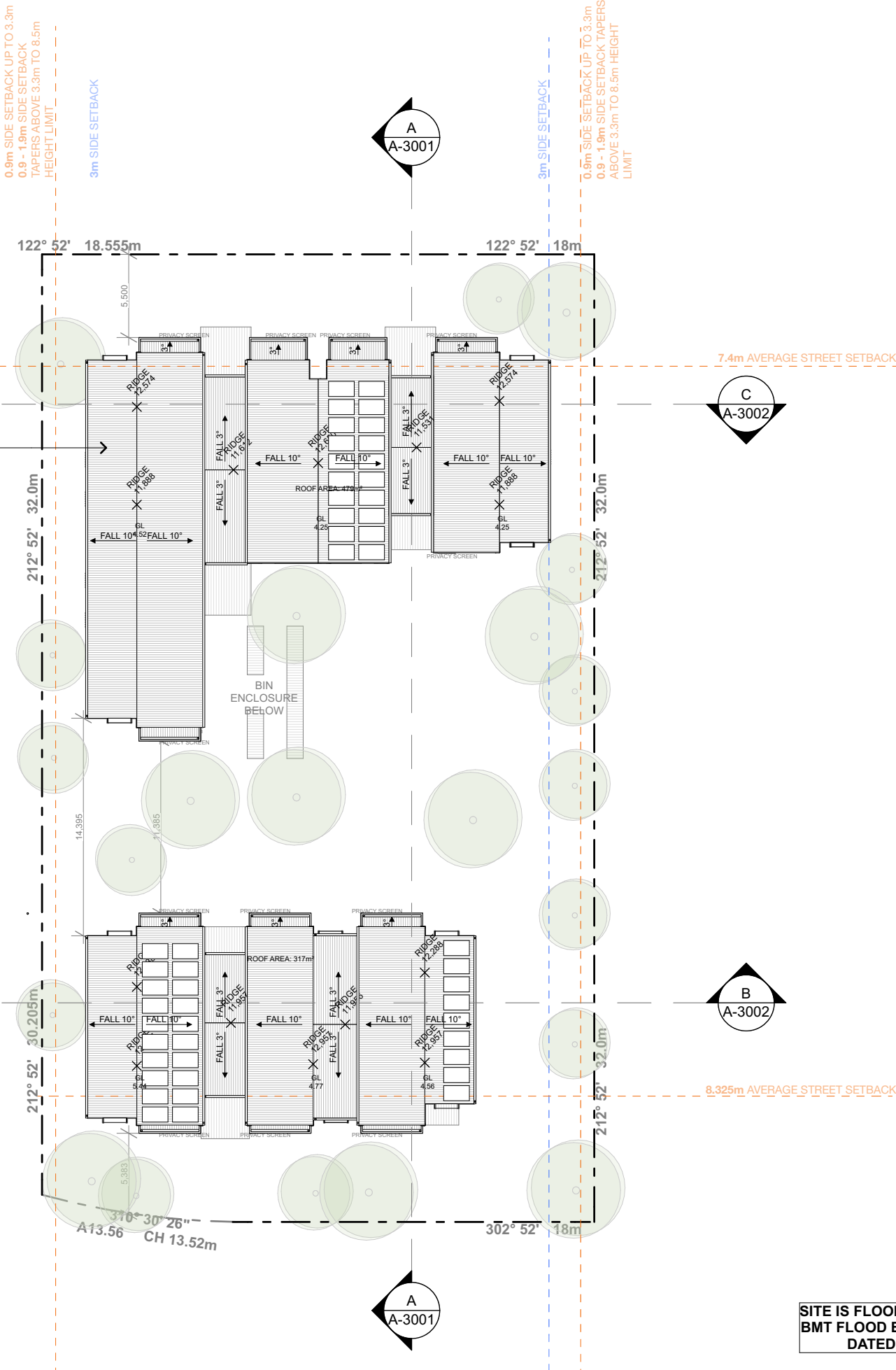
drawing title
**Site Plan(s)
Site Plan - First Floor**

drawing scale drawn verified date
AS SHOWN SC 10/3/2023
project # drawing # issue
20126 A-1002 C
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P.O.S.	Private Open Space
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MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

1 Site Plan - Roof
SCALE 1:350 @ A3

SHEET METAL ROOFING



SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

Part 5 Activity Submission

issue	description	date	verified
03	For Client Review	26/2/2022	03
04	For Client Review	3/3/2022	04
05	For Client Review	21/4/2022	05
06	Issue for Information	26/5/2022	06
07	Issue for Review	8/6/2022	07
08	Issue for Review	12/7/2022	08
09	Draft Part 5 Activity Submission	19/7/2022	09
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	10/3/2023	C

key plan



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NSW
Government
Planning &
Environment

project
LAHC Maryland
Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matten Cl
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
Site Plan(s)
Site Plan - Roof

drawing scale	drawn	verified	date
AS SHOWN		SC	10/3/2023
project #	drawing #	issue	
20126	A-1003	C	
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P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
GB	Glazed Aluminium Balsutrade - Obscure
MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

issue	description	date	verified
02	For Client Review	12/2022	02
03	For Client Review	28/2/2023	03
04	For Client Review	21/4/2022	04
05	Issue for Information	26/5/2022	05
06	Issue for Review	8/6/2022	06
07	Issue for Review	12/7/2022	07
08	Draft Part 5 Activity Submission	19/7/2022	08
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	10/3/2023	C

key plan



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Hydraulic Engineer
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clients
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project
LAHC Maryland
Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matfen Cl
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
General Arrangement Plan(s)
Ground Floor Plan - South

drawing scale
AS SHOWN
drawing #
20126
drawing title
A-1101
drawing scale
drawn
verified
date
SC
10/3/2023
issue
C

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do not scale drawings manually or electronically
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1 Ground Floor Plan South
SCALE 1:200 @ A3

EXTERNAL WALL
CAVITY BRICK WORK 270mm
PARTIAL WALL
CAVITY BRICK WORK 290mm
INTERNAL PARTITION WALL
STEEL STUD 102mm
R1.3 BULK INSULATION AS PER
BASIX REQUIREMENT

SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
GB	Glazed Aluminium Balsutrade - Obscure
MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

1 Ground Floor Plan North
SCALE 1:200 @ A3

EXTERNAL WALL
CAVITY BRICK WORK 270mm

PARTIAL WALL
CAVITY BRICK WORK 290mm

INTERNAL PARTITION WALL
STEEL STUD 102mm

R1.3 BULK INSULATION AS PER
BASIX REQUIREMENT

SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

issue	description	date	verified
02	For Client Review	12/2022	02
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05	Issue for Information	26/5/2022	05
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07	Issue for Review	10/7/2022	07
08	Draft Part 5 Activity Submission	19/7/2022	08
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	10/3/2023	C

key plan



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Hydraulic Engineer
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5/35 Smith St
Charlestown NSW 2290
(02) 4946 2633

clients
Land & Housing Corporation

NSW GOVERNMENT **Planning & Environment**

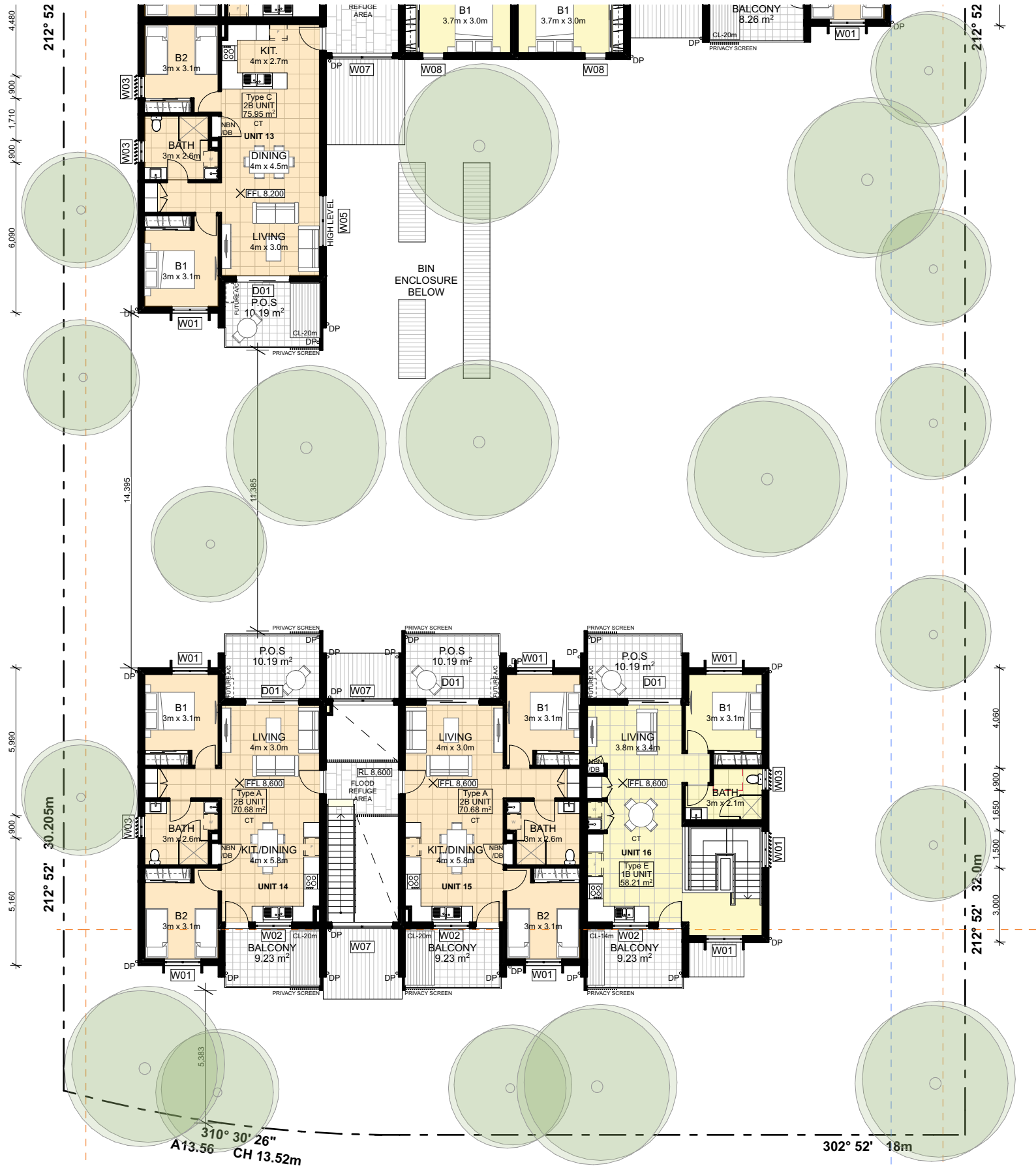
project
LAHC Maryland Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matten Ct
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
General Arrangement Plan(s)
Ground Floor Plan - North

drawing scale	drawn	verified	date
AS SHOWN		SC	10/3/2023
project #	drawing #	issue	
20126	A-1102	C	

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P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
GB	Glazed Aluminium Balsutrade - Obscure
MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox



1 First Floor Plan South
SCALE 1:200 @ A3

- EXTERNAL WALL
CAVITY BRICK WORK 270mm
- PARTI WALL
CAVITY BRICK WORK 290mm
- INTERNAL PARTITION WALL
STEEL STUD 102mm
- R1.3 BULK INSULATION AS PER
BASIX REQUIREMENT

SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

Part 5 Activity Submission

CKDS

Architecture | Planning | Interiors

NEWCASTLE

115 King Street P.O. Box 958
Newcastle NSW 2300

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CKDS Architecture PTY LTD

ABN 12 129 231 269

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issue	description	date	verified
02	For Client Review	12/2022	02
03	For Client Review	28/2/2022	03
04	For Client Review	21/4/2022	04
05	Issue for Information	26/5/2022	05
06	Issue for Review	8/6/2022	06
07	Issue for Review	12/7/2022	07
08	Draft Part 5 Activity Submission	19/7/2022	08
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	10/3/2023	C

key plan

North Point

consultants

Civil/Structural Engineers
Northrop Consulting Engineers
1/215 Pacific Hwy
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Landscape Architects
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clients

Land & Housing
Corporation

Planning & Environment

project

LAHC Maryland
Development - BGWY7

38, 40 John T Bell Dr & 31, 33 Matten Cl
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title

General Arrangement Plan(s)
First Floor Plan - South

drawing scale

AS SHOWN

drawn

SC

verified

10/3/2023

date

10/3/2023

project #

20126

drawing #

A-1103

issue

C

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It is not to be used for construction unless endorsed 'For Construction' and authorised for issue.



1 First Floor Plan North
SCALE 1:200 @ A3

P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
GB	Glazed Aluminium Balsutrade - Obscure
MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

EXTERNAL WALL
CAVITY BRICK WORK 270mm

PARTI WALL
CAVITY BRICK WORK 290mm

INTERNAL PARTITION WALL
STEEL STUD 102mm

R1.3 BULK INSULATION AS PER
BASIX REQUIREMENT

SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

Part 5 Activity Submission

issue	description	date	verified
02	For Client Review	12/2022	02
03	For Client Review	28/2/2022	03
04	For Client Review	21/4/2022	04
05	Issue for Information	26/5/2022	05
06	Issue for Review	8/6/2022	06
07	Issue for Review	12/7/2022	07
08	Draft Part 5 Activity Submission	19/7/2022	08
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	18/3/2023	C

key plan



consultants
Civil/Structural Engineers
Northrop Consulting Engineers
1/215 Pacific Hwy
Charlestown NSW 2290
(02) 4943 1777
Landscape Architects
Xeriscapes
1/28 Adelaide Street,
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(02) 4967 5999
Hydraulic Engineer
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clients
Land & Housing
Corporation
NSW
Government
Planning &
Environment

project
LAHC Maryland
Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matten Ct
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

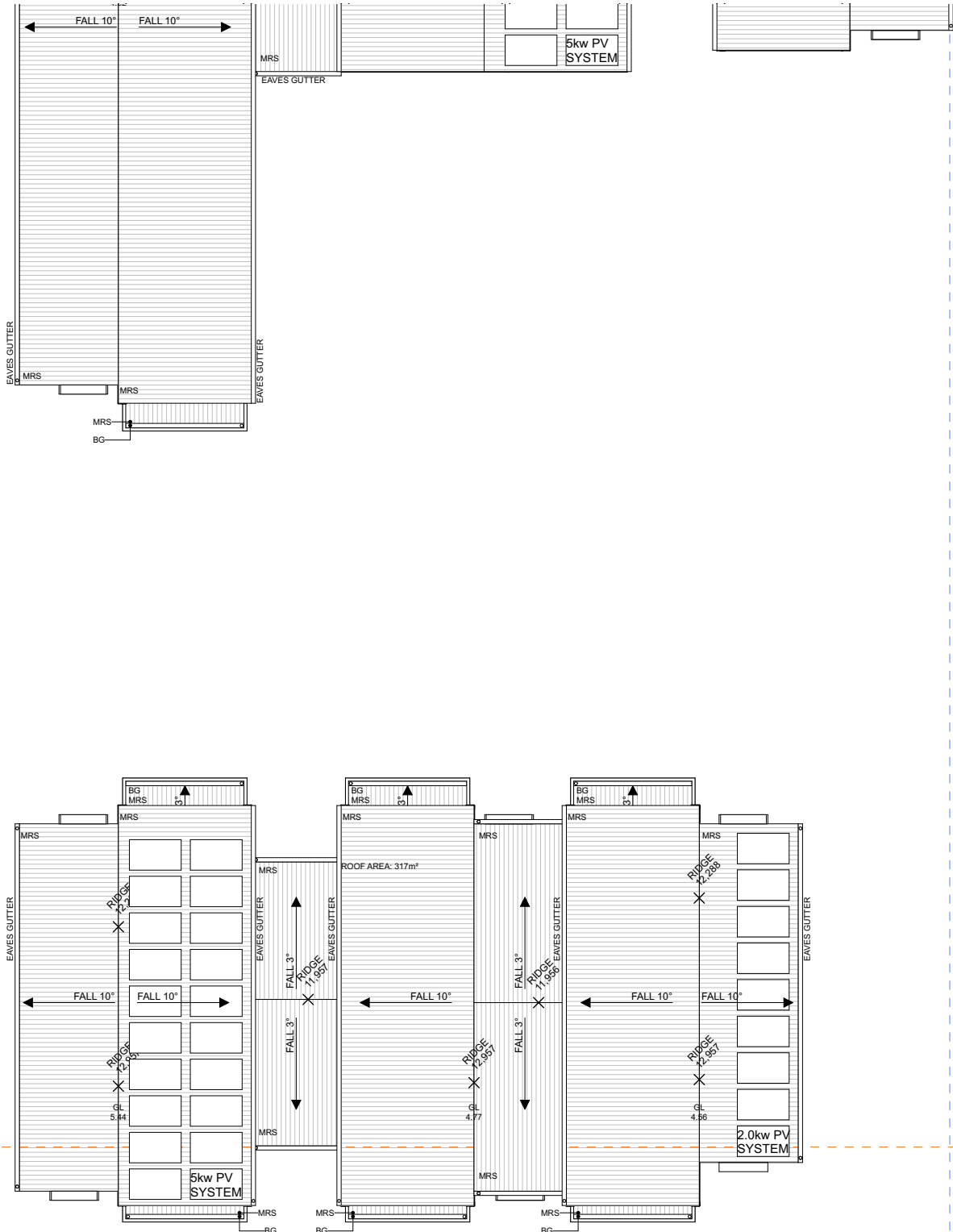
drawing title
General Arrangement Plan(s)
First Floor Plan - North

drawing scale	drawn	verified	date
AS SHOWN		SC	10/3/2023
project #	drawing #	issue	
20126	A-1104	C	

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P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
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MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

1 Roof Plan South
SCALE 1:200 @ A3



- EXTERNAL WALL
CAVITY BRICK WORK 270mm
- PARTIAL WALL
CAVITY BRICK WORK 290mm
- INTERNAL PARTITION WALL
STEEL STUD 102mm

SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

Part 5 Activity Submission

issue	description	date	verified
01	Issue for Review	8/6/2022	01
02	Issue for Review	12/7/2022	02
03	Draft Part 5 Activity Submission	19/7/2022	03
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	23/2/2022 Flood Review	19/3/2023	C

key plan



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Mayfield NSW 2304
(02) 4967 5999
Hydraulic Engineer
McCallums PECA
5/35 Smith St,
Charlestown NSW 2290
(02) 4946 2633

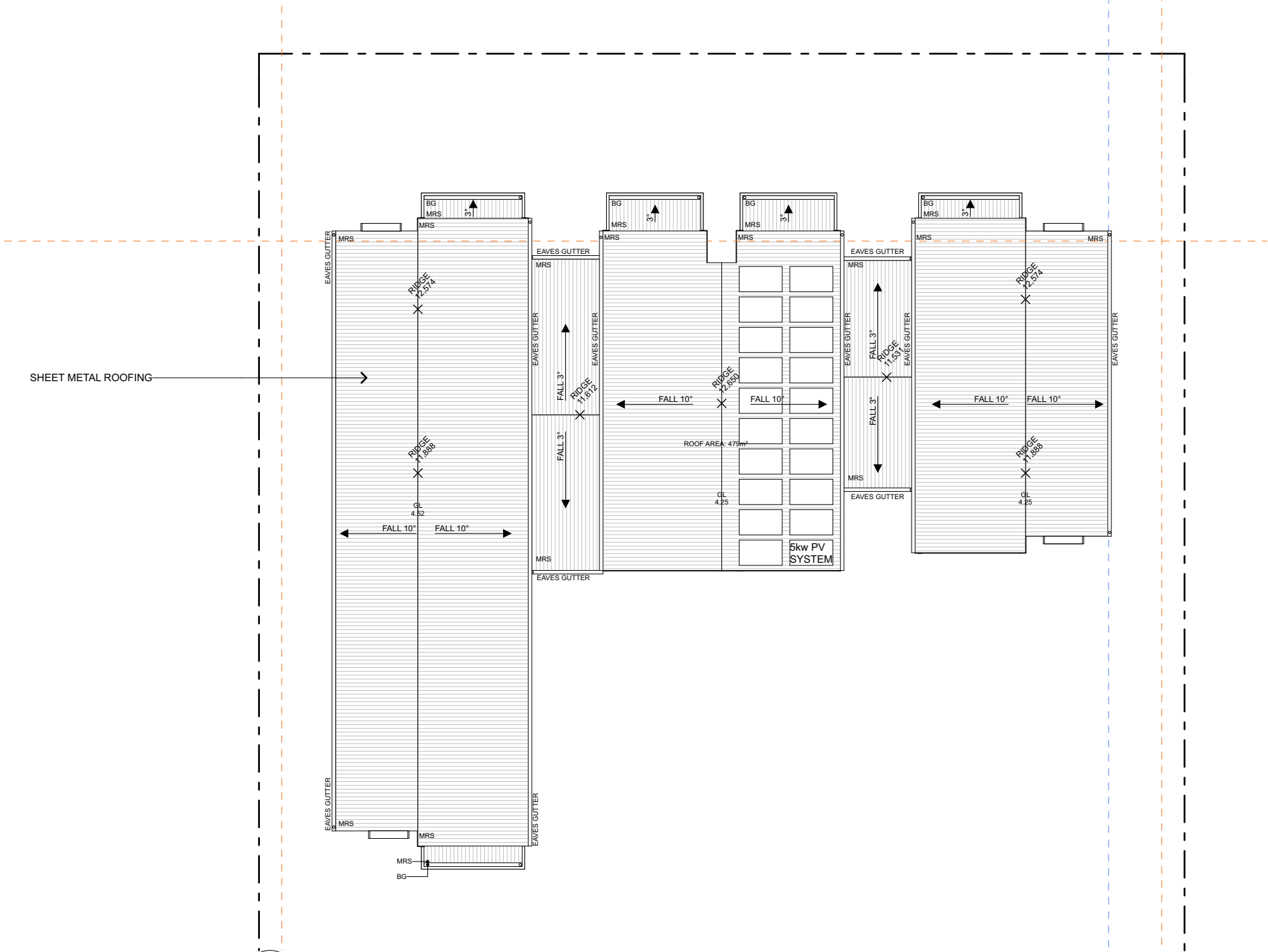
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Land & Housing
Corporation
Planning & Environment

project
LAHC Maryland
Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matten Ct
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
General Arrangement Plan(s)
Roof Plan - South

drawing scale	drawn	verified	date
AS SHOWN		SC	10/3/2023
project #	drawing #	issue	
20126	A-1105	C	

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1 Roof Plan North
SCALE 1:200 @ A3

P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
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LC1	Lightweight Cladding - Prefinished Board
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CAVITY BRICK WORK 270mm
- PARTIAL WALL
CAVITY BRICK WORK 290mm
- INTERNAL PARTITION WALL
STEEL STUD 102mm

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DATED 8th FEB 2023.

Part 5 Activity Submission



Architecture | Planning | Interiors

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B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	19/3/2023	C

key plan



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Xeriscapes
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East Gosford NSW 2250
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clients

Land & Housing
Corporation

project

LAHC Maryland
Development - BGWY7

38, 40 John T Bell Dr & 31, 33 Matten Cl
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title

General Arrangement Plan(s)
Roof Plan - North

drawing scale

AS SHOWN

10/3/2023

project #

drawing #

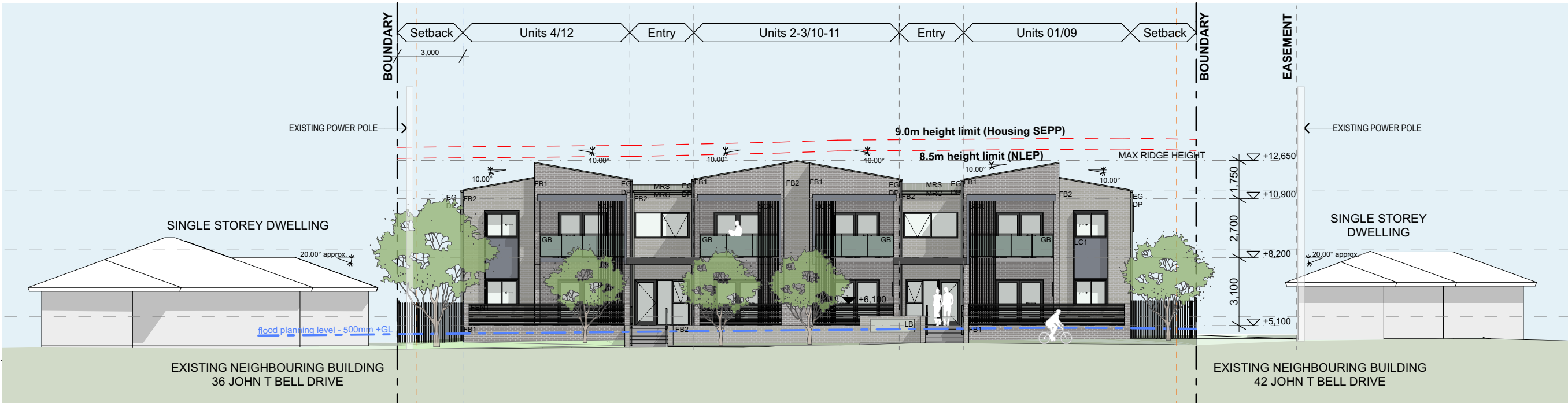
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20126

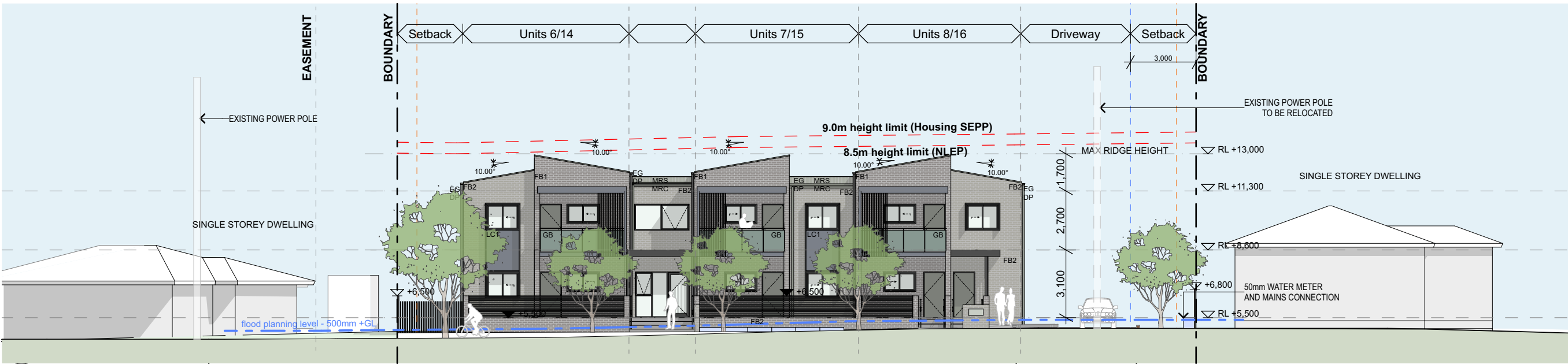
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1 North Elevation John T Bell Drive
SCALE 1:200 @ A3



2 South Elevation Matfen Close
SCALE 1:200 @ A3

P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
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EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

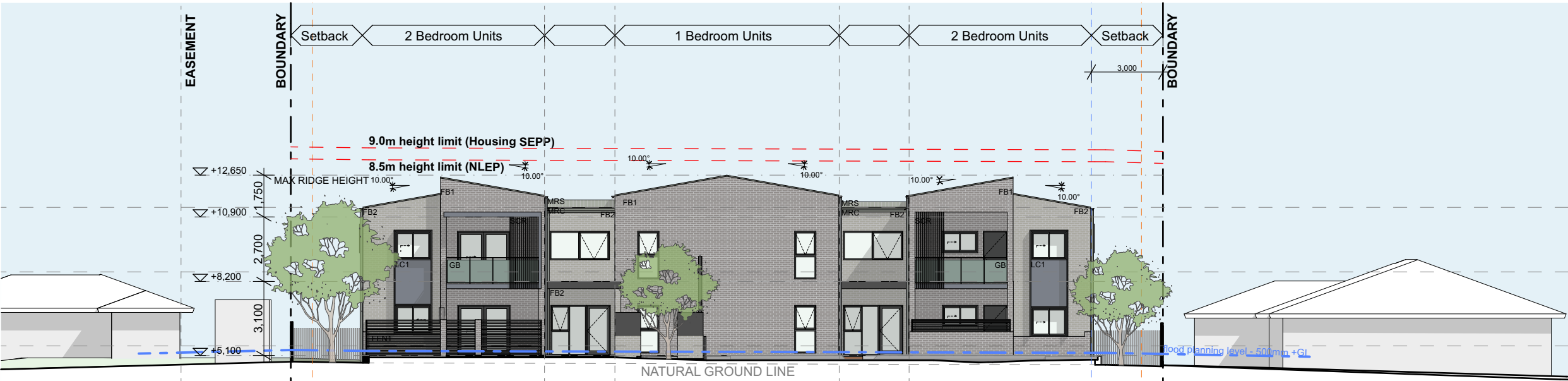
SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.



**SITE IS FLOOD AFFECTED AS PER
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DATED 8th FEB 2023.**



2 North Elevation (Building B)
SCALE 1:200 @ A3



1 South Elevation (Building A)
SCALE 1:200 @ A3

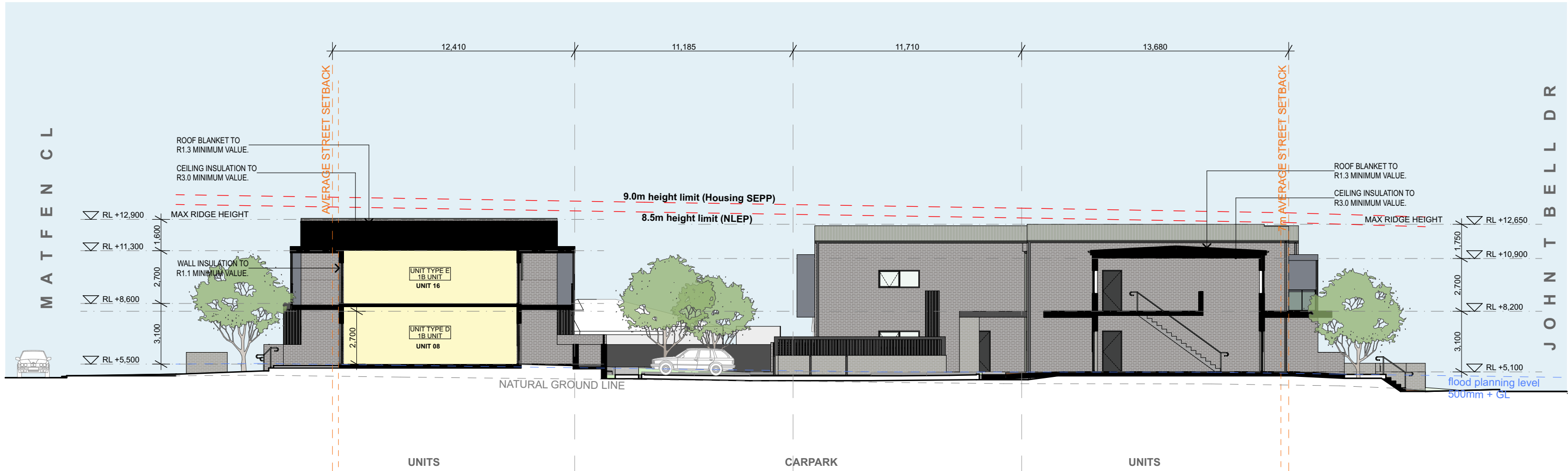
P.O.S.	Private Open Space
RL	Reduced Level
RWT	Rain Water Tank
BG	Box Gutter
FB1	Face Brickwork Type 1
FB2	Face Brickwork Type 2
LC1	Lightweight Cladding - Prefinished Board
GB	Glazed Aluminium Balastrade - Obscure
MRS	Metal Roof Sheetting
MRC	Metal Roof Capping/Flashing
EG	Eaves Gutter
DP	Downpipe
FEN1	Fence Type 1 - Vertical Slat
SCR	Privacy Screen - Vertical Slat
LB	Letterbox

**SITE IS FLOOD AFFECTED AS PER
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DATED 8th FEB 2023.**

Part 5 Activity Submission

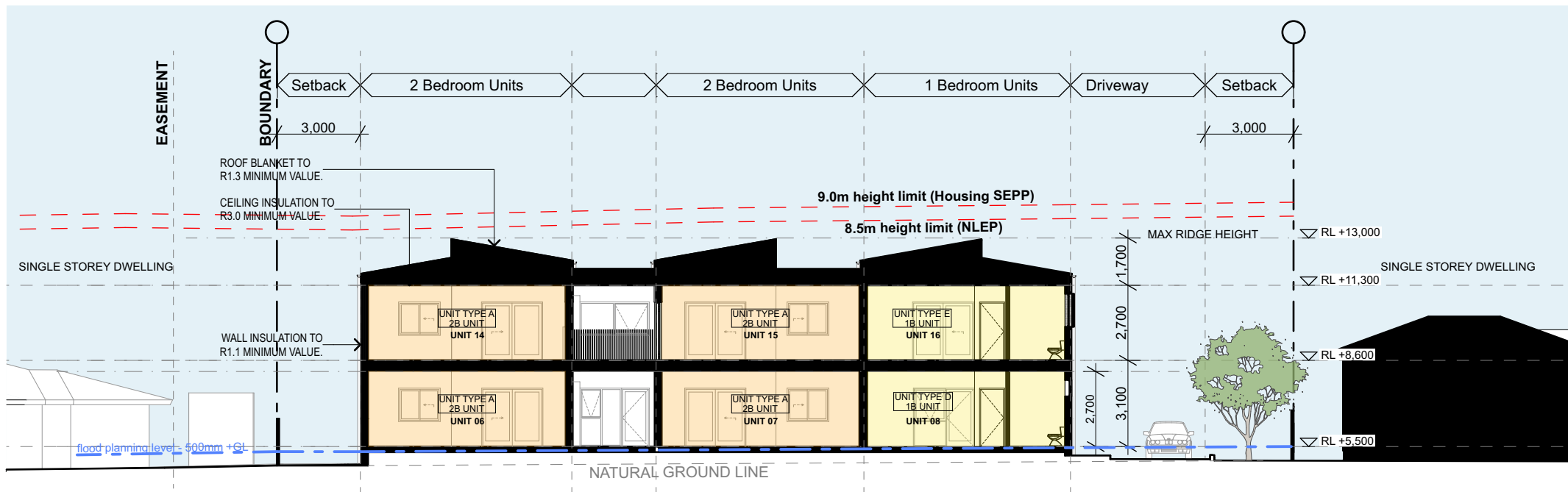
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02	Issue for Review	12/7/2022	02
03	Draft Part 5 Activity Submission	19/7/2022	03
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	19/3/2023	C



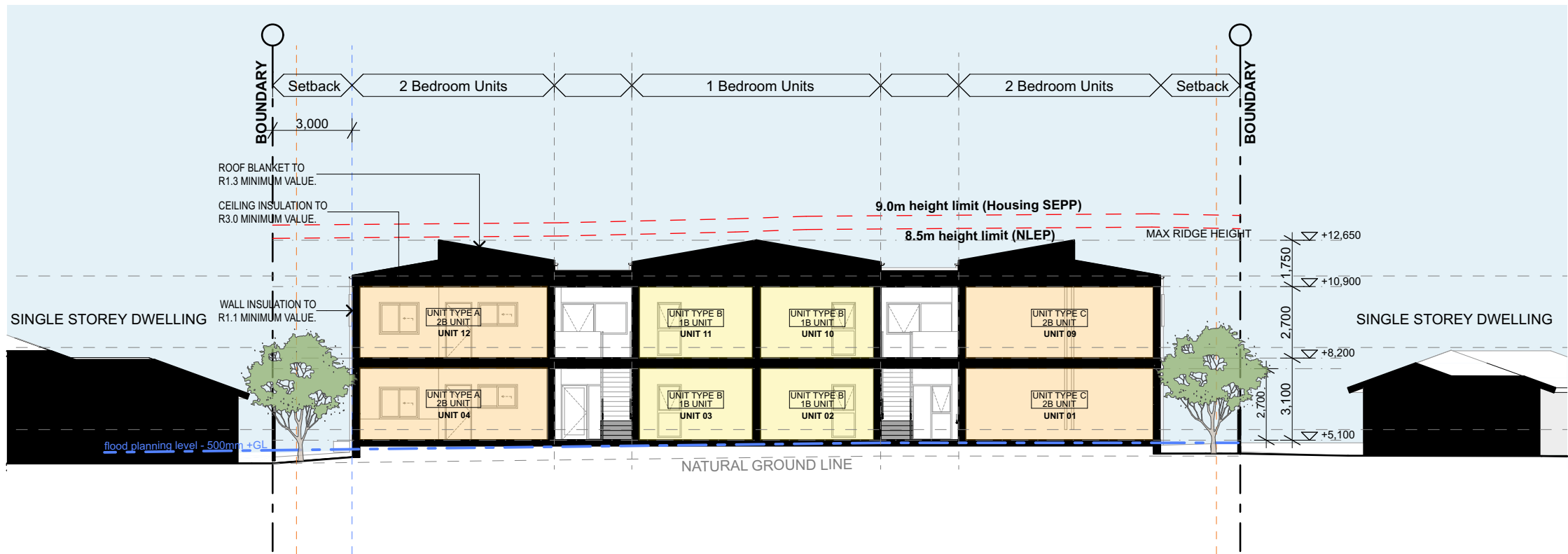


1 Section A
SCALE 1:200 @ A3

SITE IS FLOOD AFFECTED AS PER
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DATED 8th FEB 2023.



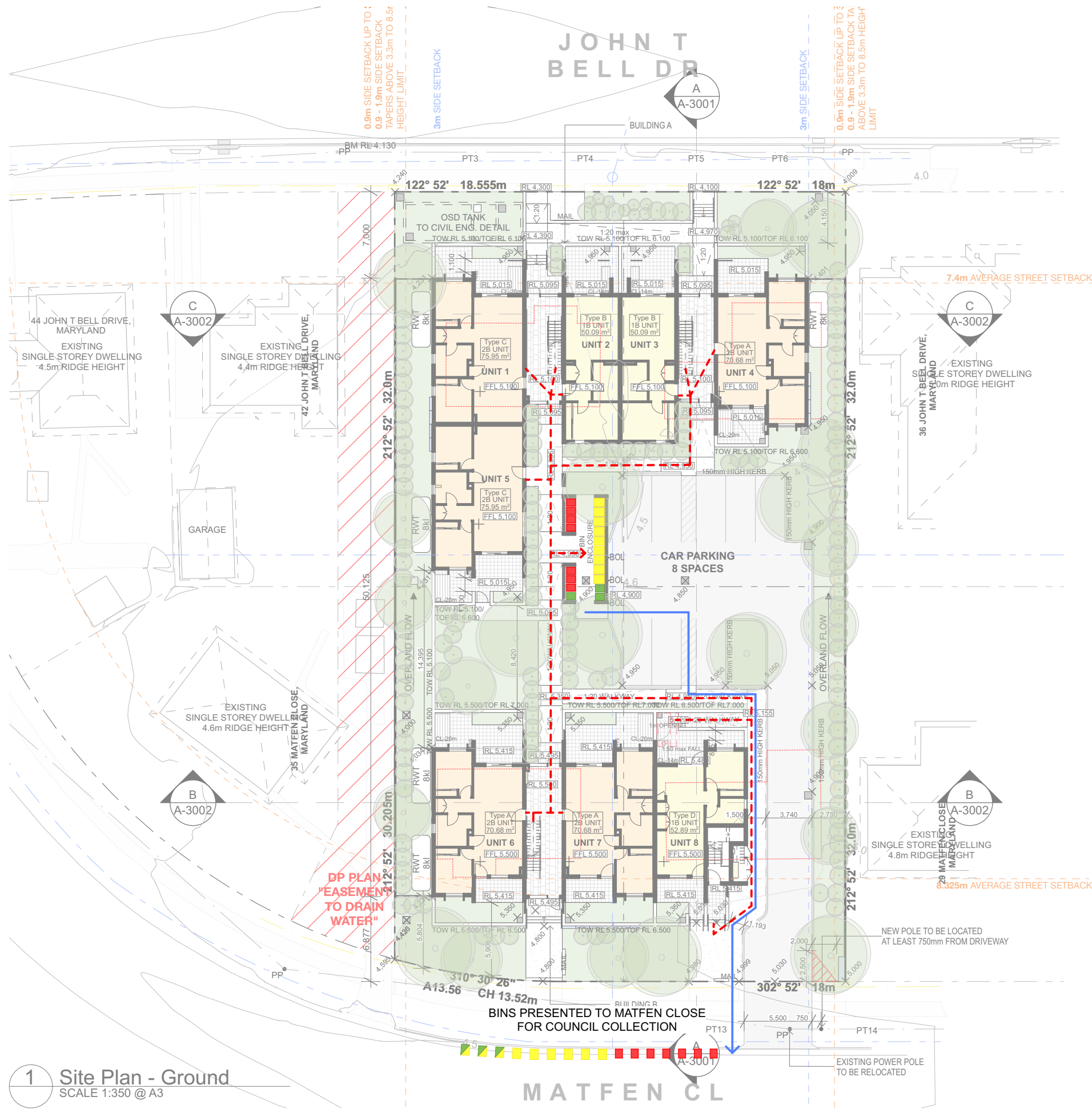
1 Section B
SCALE 1:200 @ A3



2 Section C
SCALE 1:200 @ A3

SITE IS FLOOD AFFECTED AS PER
BMT FLOOD BEHAVIOUR REPORT
DATED 8th FEB 2023.

issue	description	date	verified
01	Issue for Review	8/6/2022	01
02	Issue for Review	12/7/2022	02
03	Draft Part 5 Activity Submission	19/7/2022	03
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230202 Flood Review	19/3/2023	C



- WASTE SORTED & STORED IN INDIVIDUAL UNITS (KITCHEN CPD) AND TAKEN TO WASTE ENCLOSURE BY RESIDENTS
- WASTE STORED IN SCREENED BIN ENCLOSURE UNTIL COLLECTION DAY AND PRESENTED TO STREET BY SERVICE PROVIDER

1 Site Plan - Ground
SCALE 1:350 @ A3

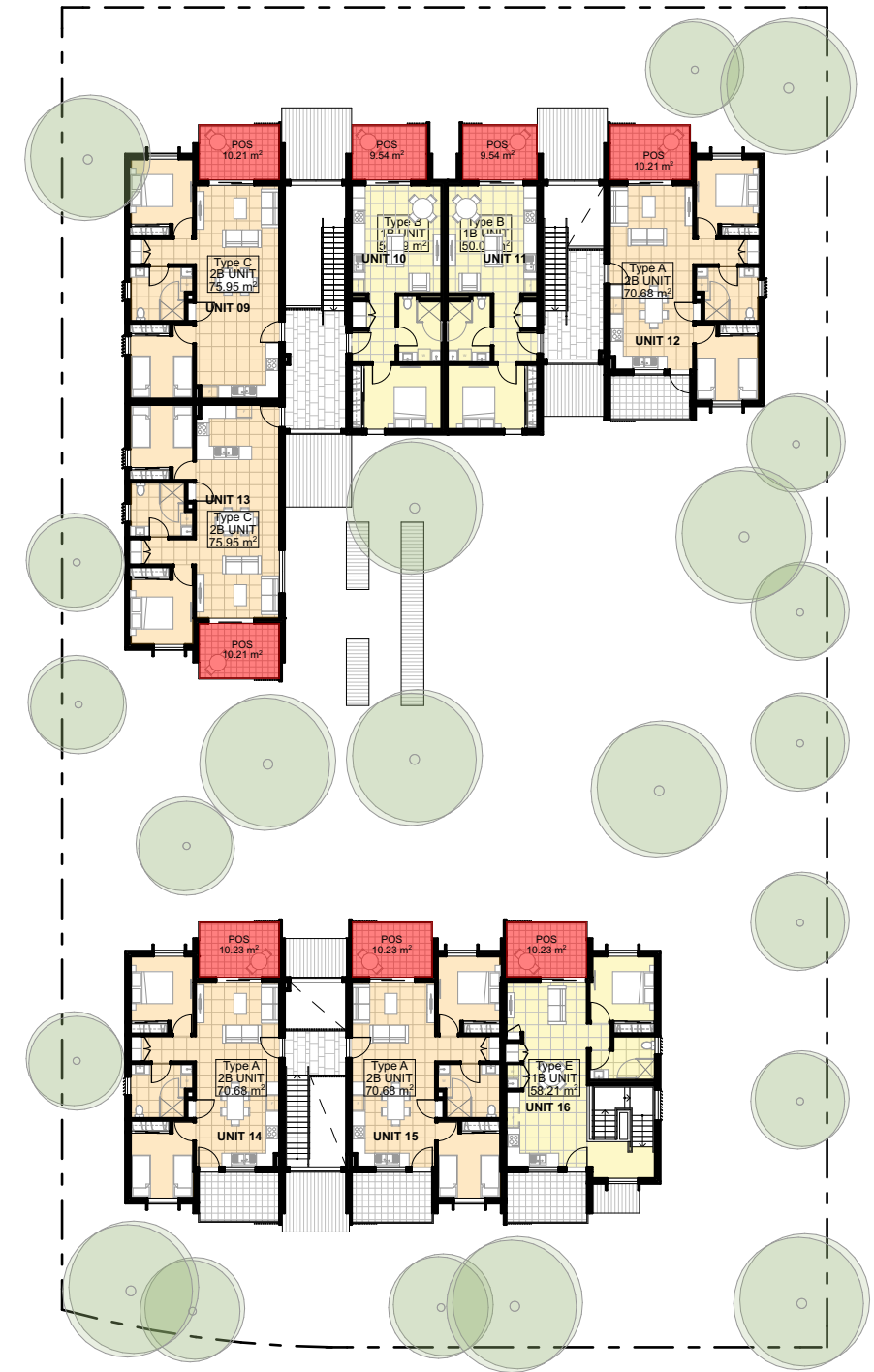
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02	Issue for Information	26/5/2022	02
03	Issue for Review	8/6/2022	03
04	Issue for Review	12/7/2022	04
05	Draft Part 5 Activity Submission	19/7/2022	05
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B
C	230113 Part 5 Activity Submission	13/1/2023	C

key plan

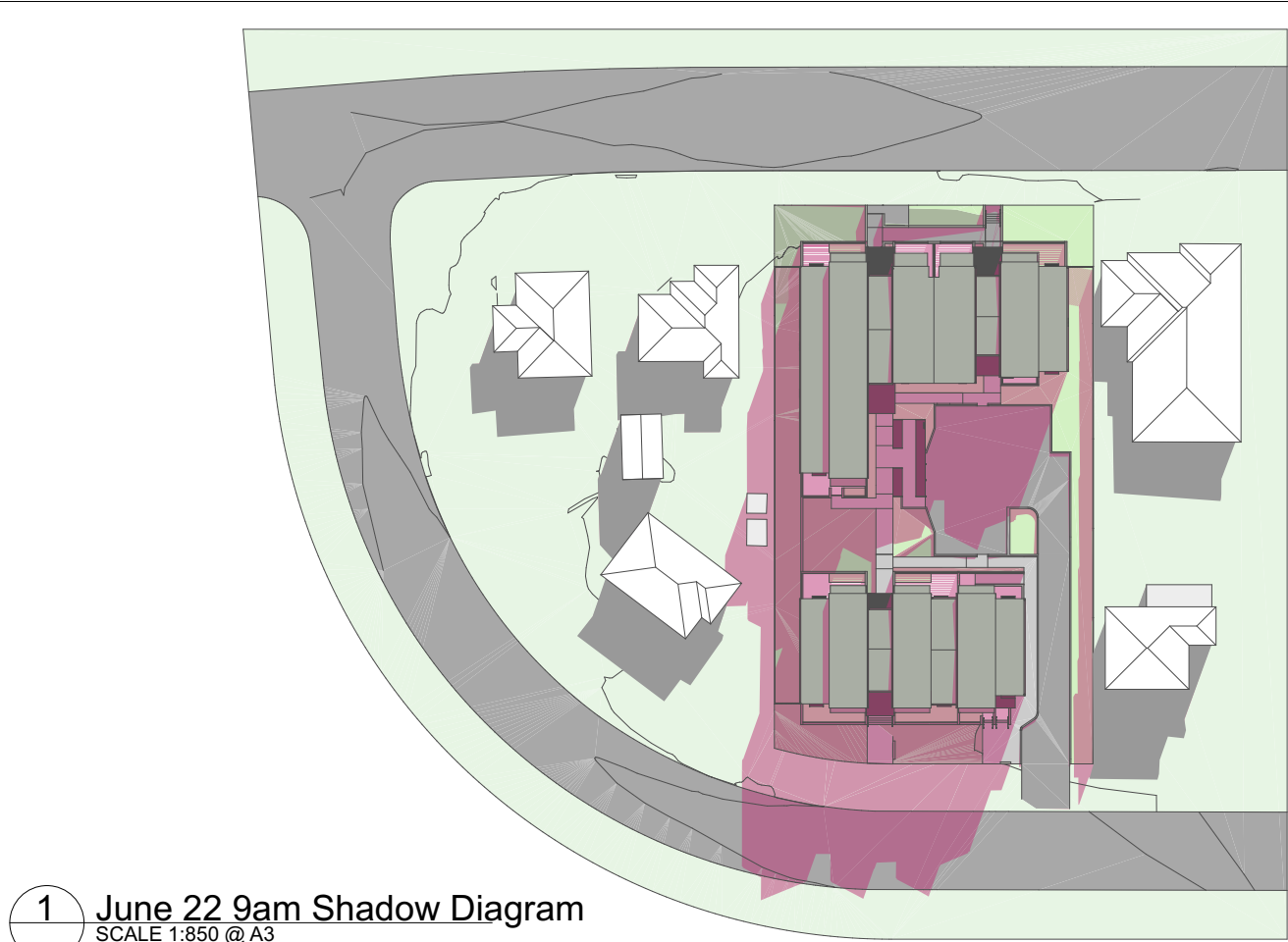




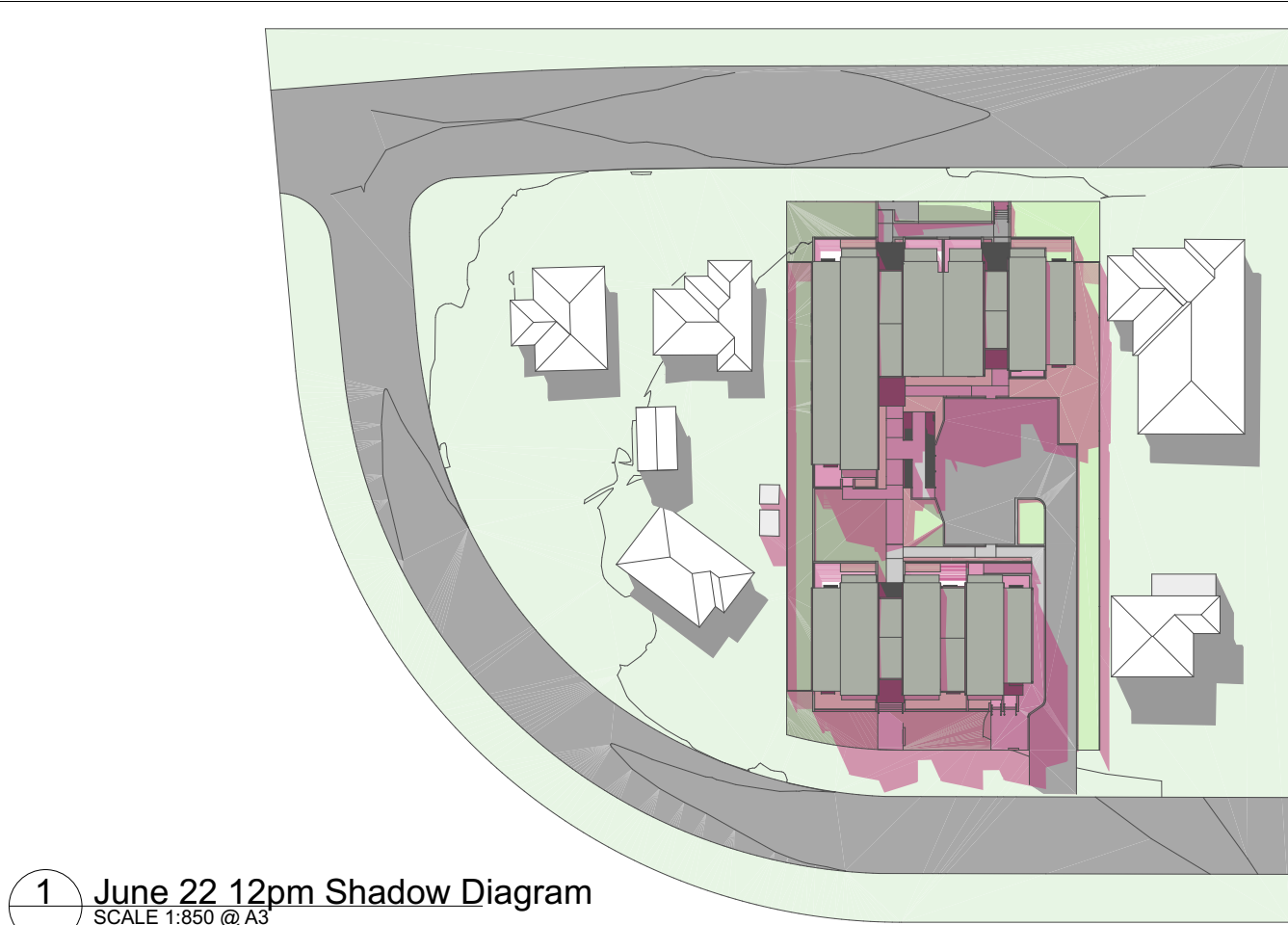
1 RFB Areas Review Ground Floor
SCALE 1:350 @ A3



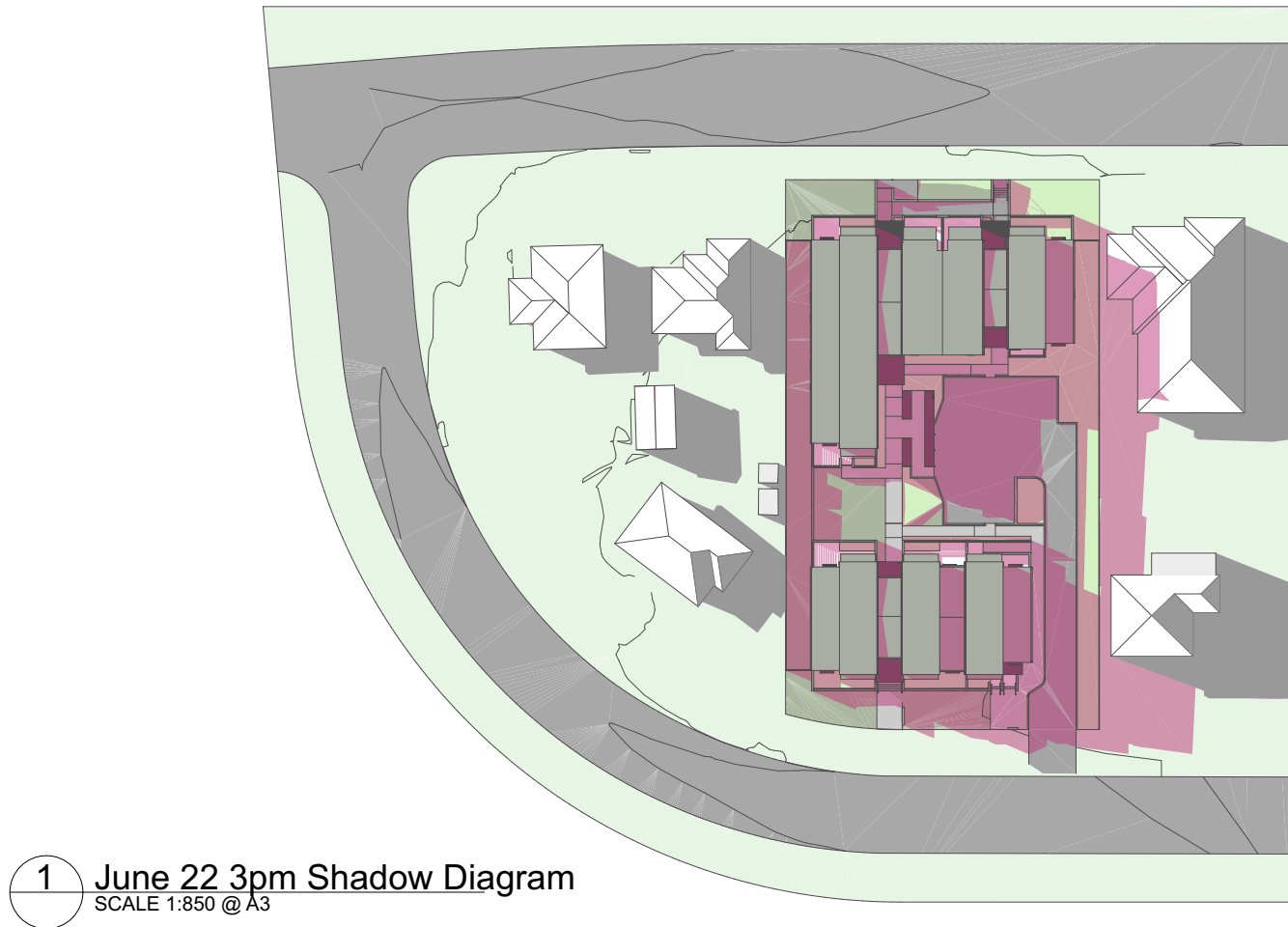
1 RFB Areas Review First Floor
SCALE 1:350 @ A3



1 June 22 9am Shadow Diagram
SCALE 1:850 @ A3



1 June 22 12pm Shadow Diagram
SCALE 1:850 @ A3

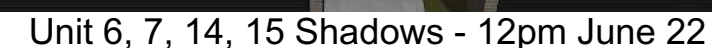
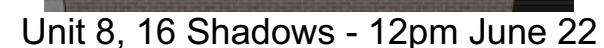
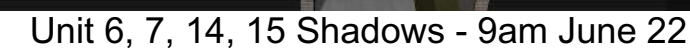


1 June 22 3pm Shadow Diagram
SCALE 1:850 @ A3

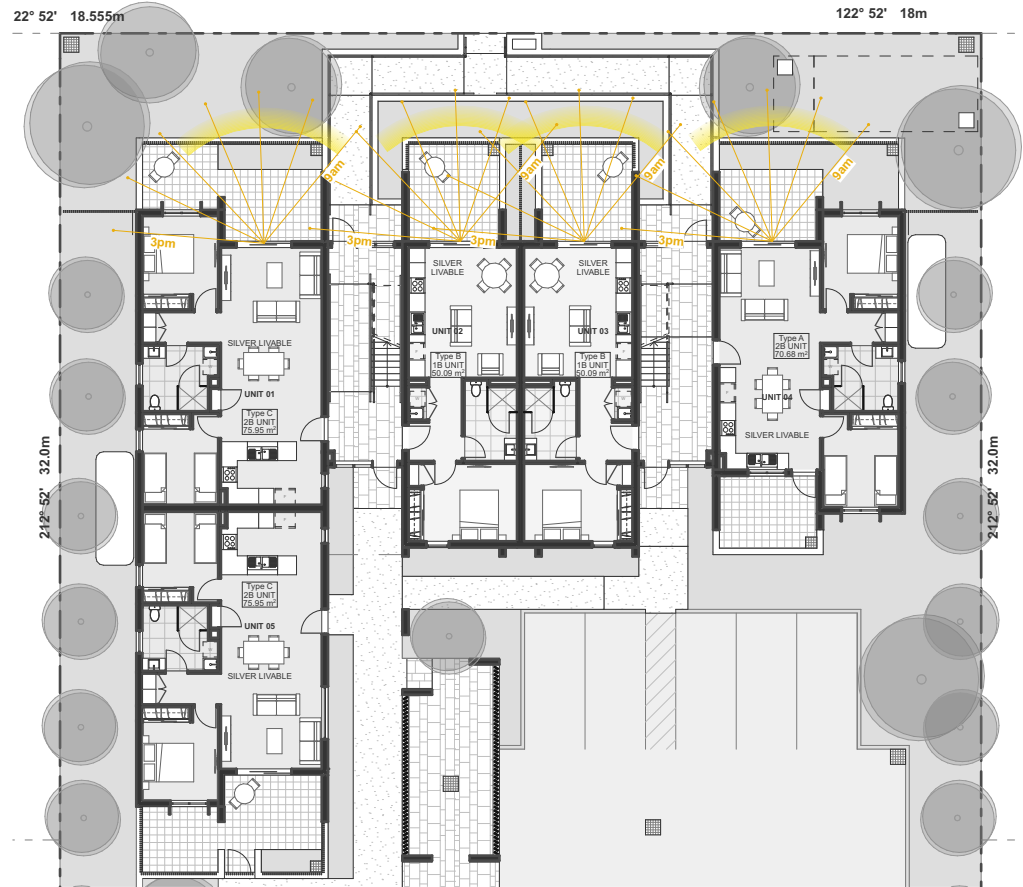
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07	Issue for Review	12/7/2022	07
08	Draft Part 5 Activity Submission	19/7/2022	08
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B

key plan

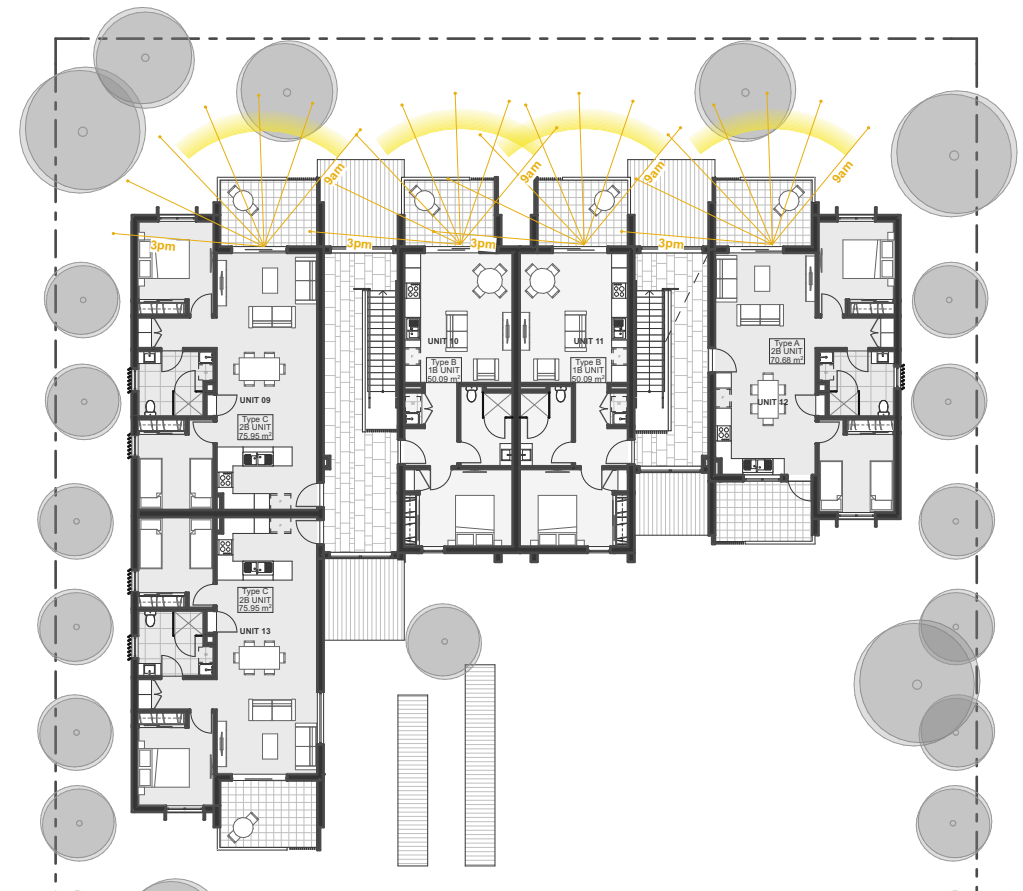




Solar Access (between 9am to 3pm 21st June)		
Unit Number	Living Room	Private Open Space
01	Yes	Yes
02	Yes	Yes
03	Yes	Yes
04	Yes	Yes
05	No	No
06	Yes	Yes
07	Yes	Yes
08	Yes	Yes
09	Yes	Yes
10	Yes	Yes
11	Yes	Yes
12	Yes	Yes
13	No	No
14	Yes	Yes
15	Yes	Yes
16	Yes	Yes
Total	14 (87.5%)	14 (87.5%)



1 ADG Solar Review - Ground
SCALE 1:300 @ A3



1 ADG Solar Review - First
SCALE 1:300 @ A3



Unit 3, 4, 11, 12 Shadows - 9am June 22



Unit 1, 2, 9, 10 Shadows - 9am June 22



Unit 3, 4, 11, 12 Shadows - 12pm June 22



Unit 1, 2, 9, 10 Shadows - 12pm June 22

Solar Access (between 9am to 3pm 21st June)		
Unit Number	Living Room	Private Open Space
01	Yes	Yes
02	Yes	Yes
03	Yes	Yes
04	Yes	Yes
05	No	No
06	Yes	Yes
07	Yes	Yes
08	Yes	Yes
09	Yes	Yes
10	Yes	Yes
11	Yes	Yes
12	Yes	Yes
13	No	No
14	Yes	Yes
15	Yes	Yes
16	Yes	Yes
Total	14 (87.5%)	14 (87.5%)

issue	description	date	verified
02	For Client Review	12/2022	02
03	For Client Review	26/2/2022	03
04	For Client Review	3/3/2022	04
05	For Client Review	27/4/2022	05
06	Issue for Information	26/5/2022	06
07	Issue for Review	6/6/2022	07
08	Issue for Review	12/7/2022	08
09	Draft Part 5 Activity Submission	19/7/2022	09
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B

key plan



MRS
Metal Roof Sheetting -
Surfmist

FB2
Face Brickwork - Urban
'Silver'

Window/Door Frame -
Monument

GB
Glazed Balustrade -
Obscure Glass

FB1
Face Brickwork - Urban
'Chiffon'

LC01
Pre-finished Board Soffit
Cemintel Surround

FEN1/SCRN
Screen/Fencing -
Powdercoated 'Monument'



John T Bell Drive Perspective

issue	description	date	verified
01	For Client Review	24/11/2021	01
02	For Client Review	10/2/2022	02
03	For Client Review	29/2/2022	03
04	For Client Review	27/4/2022	04
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key plan



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5/35 Smith St,
Charlestown NSW 2290
(02) 4946 2633

clients
Land & Housing
Corporation
Planning & Environment

project
LAHC Maryland
Development - BGWY7
38, 40 John T Bell Dr & 31, 33 Matten Cl
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
Materials
Schedule of Finishes

drawing scale	drawn	verified	date
AS SHOWN		SC	26/8/2022
project #	drawing #	issue	
20126	A-6001	B	

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drawing shall not be used for construction until issued for construction by designer.



Matfen Close Perspective

issue	description	date	verified
01	For Client Review	12/2022	01
02	For Client Review	28/2/2022	02
03	For Client Review	27/4/2022	03
04	Issue for Information	26/5/2022	04
05	Issue for Review	8/6/2022	05
06	Issue for Review	12/7/2022	06
07	Draft Part 5 Activity Submission	19/7/2022	07
A	Part 5 Activity Submission	21/7/2022	A
B	Part 5 Activity Submission	26/8/2022	B

key plan



consultants
Civil/Structural Engineers
Northrop Consulting Engineers
1/215 Pacific Hwy
Charlestown NSW 2290
(02) 4943 1777
Landscape Architects
Xeriscapes
1/28 Adelaide Street,
East Gosford NSW 2250
(02) 4302 0477

Electrical Engineer
Electrical Projects Australia
386 Maitland Rd,
Maitland NSW 2304
(02) 4967 5999
Hydraulic Engineer
McCallums PECA
5/35 Smith St,
Charlestown NSW 2290
(02) 4946 2633

clients
Land & Housing
Corporation
NSW
Government
Planning &
Environment

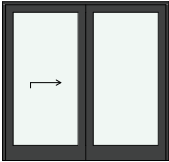
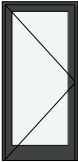
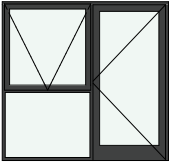
project
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Development - BGWY7
Lot 111, 112, 116, 117/-/DP253956
Maryland NSW 2287

drawing title
Materials
Matfen Close

drawing scale	drawn	verified	date
AS SHOWN		SC	26/8/2022
project #	drawing #	issue	
20126	A-6002	B	

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Glazed Doors

Element ID	D01	D02	D03
Quantity	15	6	1
Height	2,100	2,100	2,100
Width	2,200	1,000	2,200
			

Glazed Windows

Element ID	W01	W02	W03	W05	W06	W07	W08	W09	
Quantity	20	8	13	2	6	6	4	1	
Height	1,200	900	1,200	900	2,100	1,200	2,000	600	
Width	1,500	1,500	900	2,100	1,500	2,500	900	900	
	